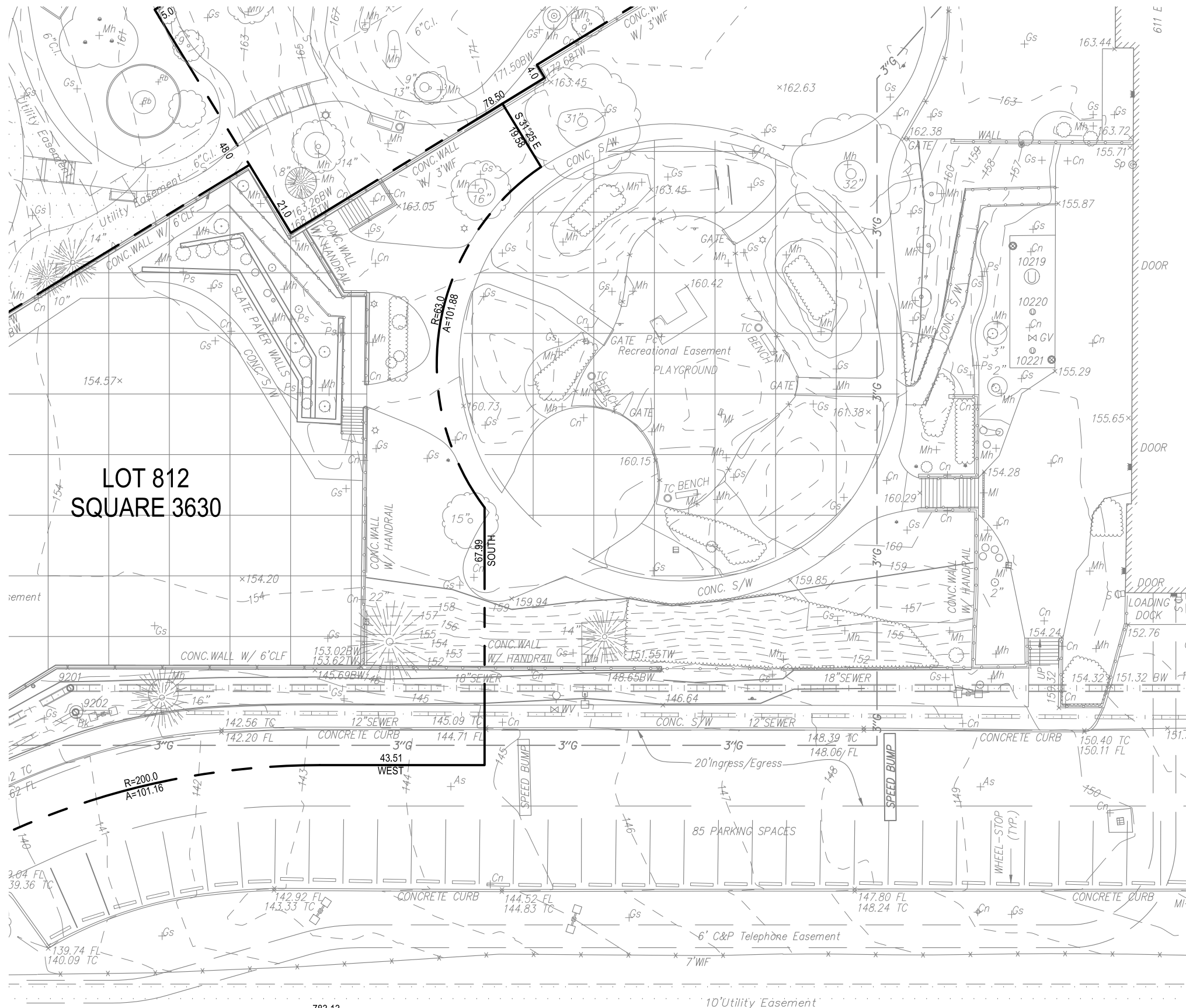


LEGEND			
PC	PLASTIC	⊘	CLOSED DOWN SPOUT
PS	PAVERS	⊞	HAND HOLE
GE	GRANITE	⊙	FIRE HYDRANT
GD	GROUND	⊕	DRAINAGE MANHOLE
FN	CONCRETE	⊕	SEWER MANHOLE
WD	WOOD	⊕	UTILITY MANHOLE
MH	MULCH	⊕	WATER MANHOLE
AS	ASPHALT	⊕	ELECTRIC MANHOLE
BK	BRICK	⊕	TELEPHONE MANHOLE
GS	GRASS	⊕	GAS METER
MT	METAL	⊕	ELECTRIC METER
GL	GRAVEL	⊕	WATER METER
WV	WATER VALVE	⊕	MONITORING WELL
BS	BUSH/SHRUB INDIVIDUAL	⊕	HANDICAP
DT	DECIDUOUS TREE	⊕	DOUBLE SQUARE GLOBE LIGHT POLE
CT	CONIFEROUS TREE	⊕	LIGHT POLE
SFH	SIAMESE FIRE HYDRANT	⊕	DOUBLE GLOBE LIGHT POLE
GW	GUY WIRE	⊕	SINGLE COBRA LIGHT POLE
EP	ELECTRIC POLE	⊕	UTILITY POLE
GL	GROUND LIGHT	⊕	SQUARE GLOBE LIGHT POLE
CTP	CABLE TV PEDESTAL	⊕	POST
V	VENT	⊕	SPRINKLER CONTROL VALVE
TC	TRASH CAN	⊕	SPRINKLER HEAD
WL	WALL LIGHT	TC	TOP OF CURB
S	SIGN	FL	FLOWLINE
SD	SQUARE DRAIN	CLF	CHAIN LINK FENCE
ES	ELECTRIC STRUCTURE	WIF	WROUGHT IRON FENCE
WS	WATER SPIGOT	BW	BOTTOM OF WALL
GV	GAS VALVE	TW	TOP OF WALL
M	MAILBOX	EX. STM	UNDERGROUND STORM SEWER
C	CLEANOUT	EX. SAN	UNDERGROUND SANITARY SEWER
BL	BOLLARD LIGHT	S	UNDERGROUND SANITARY SEWER
B	BOLLARD	CATV	UNDERGROUND CABLE TV
CB	CALL BOX	C	UNDERGROUND COMMUNICATION
TLCB	TRAFFIC LIGHT CONTROL BOX	OHE	OVERHEAD ELECTRIC
SC	SECURITY CAMERA	E	UNDERGROUND ELECTRIC
CR	CARD READER	W	UNDERGROUND WATER
RD	ROUND DRAIN	G	UNDERGROUND GAS
DS	DOWN SPOUT	---	PROPERTY LINE
EOI	END OF ELECTRONIC UTILITY LOCATING INFORMATION	○	HAND RAIL

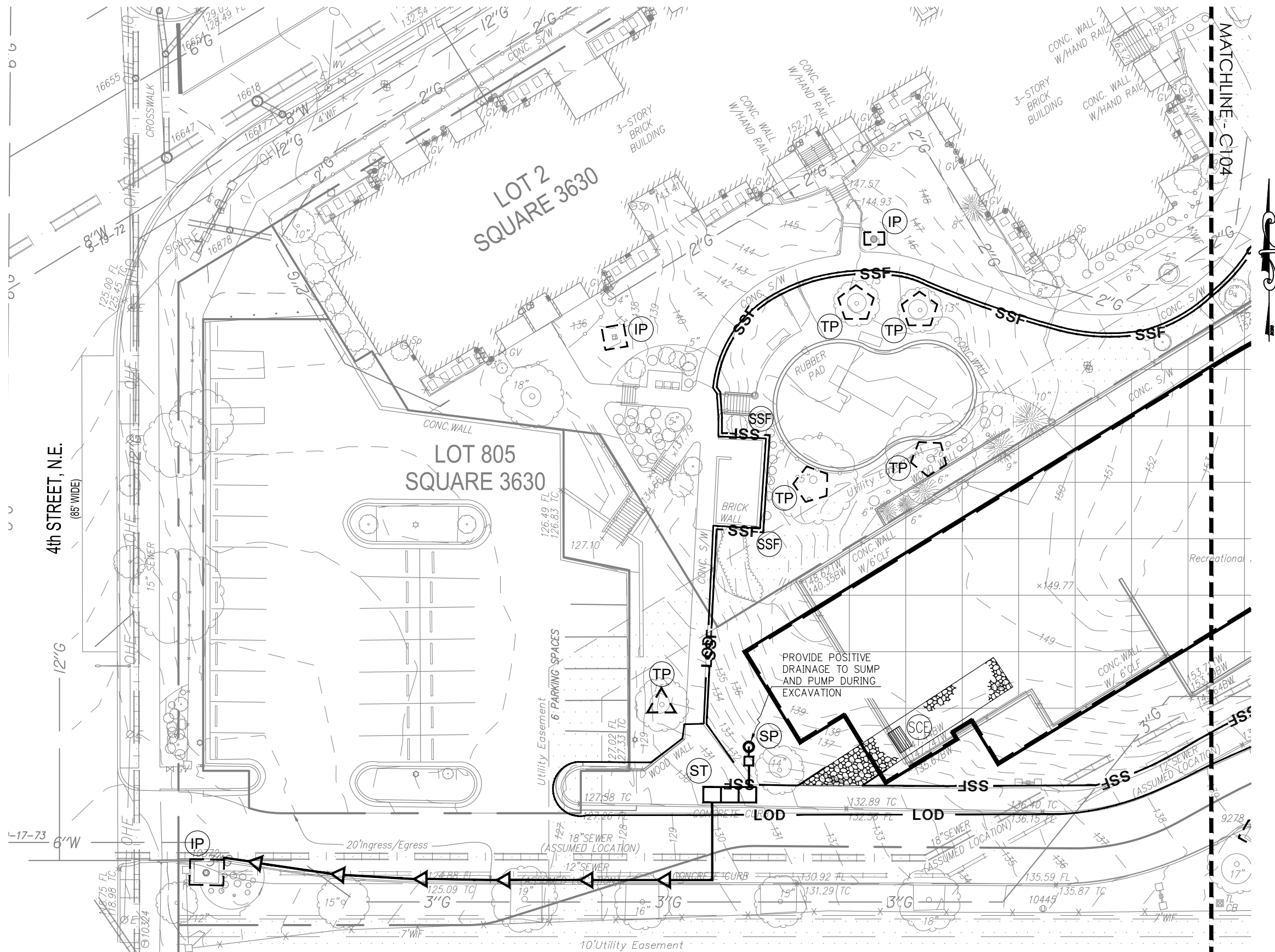


UNDERGROUND UTILITY RECORDS SHOWN:

UTILITY	SOURCE	DATE:
SEWER: WASA PANEL:	OSAB11-12NE	09-20-54
	OSCD11-12NE	04-13-55
	OSCD13-14NE	NO DATE
WATER: WASA PANEL:	OWAB11-12NE	04-26-82
	OWCD11-12NE	08-25-60
	OWCD13-14NE	09-09-60
ELECTRIC: PEPCO	NO INFO.	3-14-13
GAS: WASHINGTON GAS	WG-64886	02-21-2013
COMMUNICATION: VERIZON	NE 185	01-15-87
	NE 6	10-21-87

- GENERAL NOTES:**
- 1) THE DATA ON THIS SURVEY ARE THE RESULT OF A FIELD SURVEY BY WILES MENSCH CORPORATION, LAST DATE OF FIELD SURVEY APRIL 10, 2013.
 - 2) BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS, AND VERIFIED IN THE FIELD INSOFAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE BY THE OFFICE OF THE SURVEYOR, D.C.
 - 3) ELEVATIONS SHOWN ARE REFERENCED TO DCDPW DATUM (BM 7-26 & 7-27), MERIDIAN REFERENCED TO DCSO NORTH, BY HOLDING EDGEWOOD STREET, N.E.
 - 4) VISIBLE ABOVE GROUND UTILITIES HAVE BEEN SHOWN. SUBSURFACE UTILITIES WERE LOCATED AS POSSIBLE UNDER A SEPARATE UTILITY SURVEY PERFORMED BY AI DATA LAST DATE OF SURVEY MAY 9, 2013. REFER TO A "SUBSURFACE UTILITY DESIGNATING WORKSHEET" SKETCH OF EDGEWOOD TERRACE PREPARED BY AI DATA (DATED MAY 21, 2013) FOR FURTHER INFORMATION.
 - 5) WHERE SHOWN, SUBSURFACE UTILITIES FOLLOW ASCE 38-02 QUALITY LEVELS A-D. LINES ARE LABELED AS FOLLOWS: A: VISUALLY VERIFIED VIA TEST HOLES; B: DESIGNATED AND SURVEYED; C: RECORD INFORMATION CORRELATED WITH SURVEYED SURFACE FEATURES; D: RECORD INFORMATION ONLY. UTILITIES MAY EXIST THAT ARE NOT SHOWN. UNLESS OTHERWISE LABELED AS ABOVE, THIS SURVEY REPRESENTS QUALITY LEVEL B.
 - 6) PROPERTY IS IDENTIFIED AS ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED ON FIRM COMMUNITY PANEL 11000100 36C, EFFECTIVE DATE SEPTEMBER 27, 2010.

EXISTING UTILITY NOTE:
 ALL VISIBLE ABOVE GROUND UTILITIES AND RECORD UTILITIES HAVE BEEN SHOWN IN AS MUCH AS POSSIBLE. IT IS HIGHLY RECOMMENDED THAT FURTHER UTILITY INVESTIGATION IS PERFORMED PRIOR TO STARTING CONSTRUCTION DOCUMENTS.



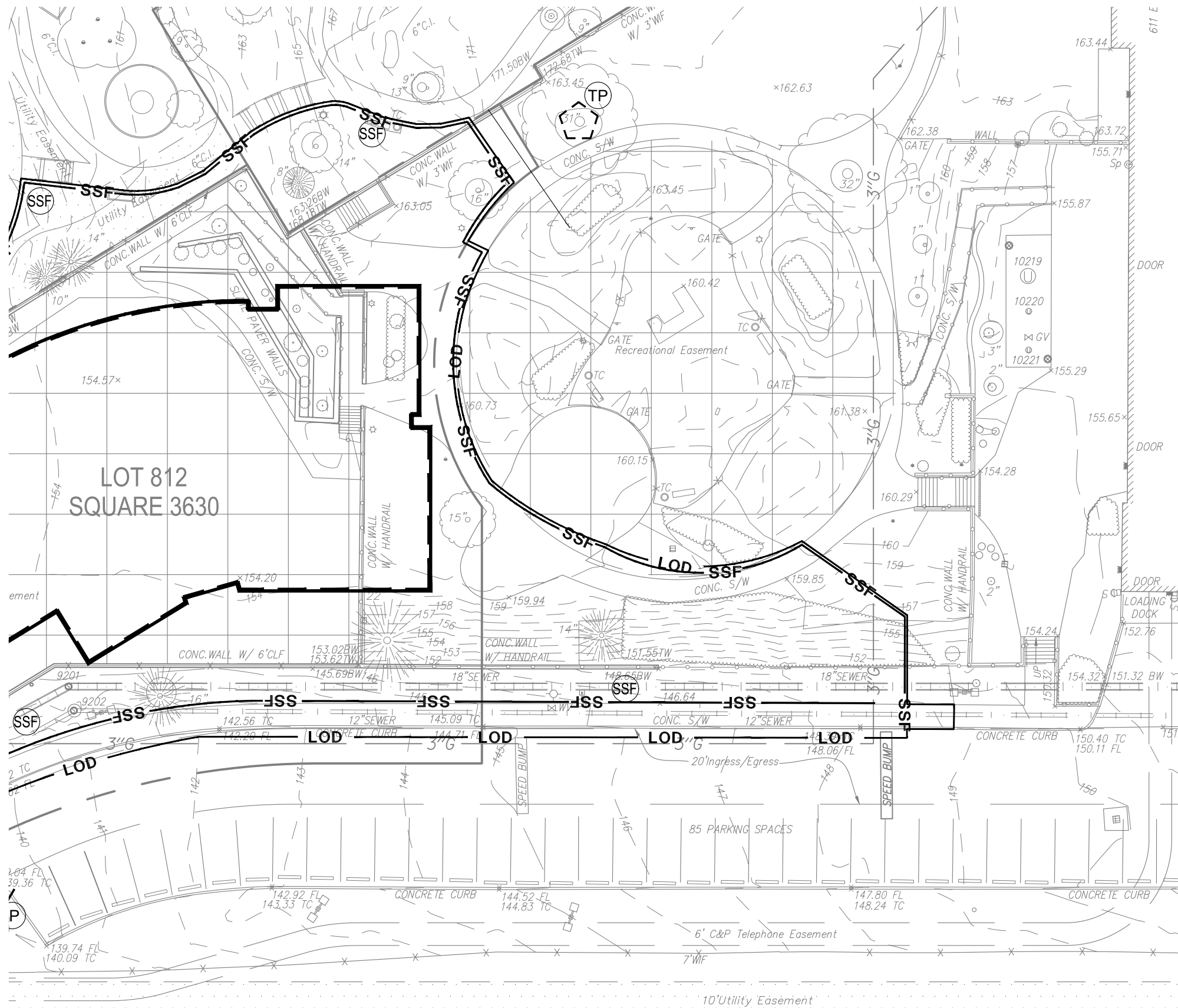
LEGEND		PROPOSED
TEMP CONSTRUCTION ENTRANCE		
WASH RACK		
SUPER SILT FENCE		
SILT FENCE		
INLET PROTECTION		
APPROXIMATE LIMIT OF BELOW GRADE EXCAVATION		
APPROXIMATE LIMIT OF DISTURBANCE		
TREE PROTECTION		
SUMP PUMP		
SEDIMENT TANK		

EROSION AND SEDIMENT CONTROL NARRATIVE:

EROSION AND SEDIMENT CONTROL WILL BE ACHIEVED THROUGH THE USE OF SILT FENCE, SUPER SILT FENCE, STRAW BALE, STABILIZED CONSTRUCTION ENTRANCE AND INLET PROTECTION. THE SITE WILL ALSO INCLUDE TREE PROTECTION AND SAFETY FENCE FOR SITE PROTECTION. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE IMPLEMENTED PRIOR TO DEMOLITION TO ENSURE ADEQUATE PROTECTION DURING THE DEMOLITION AND REMOVAL OF WASTE MATERIALS. ALL DEMO MATERIAL WILL BE TAKEN TO AN OFF SITE DESIGNATED DUMPING AREA VIA DUMP TRUCKS OR DUMPSTER.

DESCRIPTION OF PREDOMINANT SOIL TYPE:

DISTRICT OF COLUMBIA (DC001)	
MAP UNIT SYMBOL	MAP UNIT NAME
UB	URBAN LAND



LEGEND		PROPOSED
TEMP CONSTRUCTION ENTRANCE		
WASH RACK		
SUPER SILT FENCE	— SSF —	
SILT FENCE	— SF —	
INLET PROTECTION		
APPROXIMATE LIMIT OF BELOW GRADE EXCAVATION		
APPROXIMATE LIMIT OF DISTURBANCE	- LOD -	
TREE PROTECTION		
SUMP PUMP		
SEDIMENT TANK		

TOTAL SITE AREA:
 TOTAL SITE AREA: 43,774 SF / 1.01 AC

TOTAL AREA OF DISTURBANCE:
 TOTAL AREA OF DISTURBANCE: 48,114 SQUARE FEET OR 1.10 AC

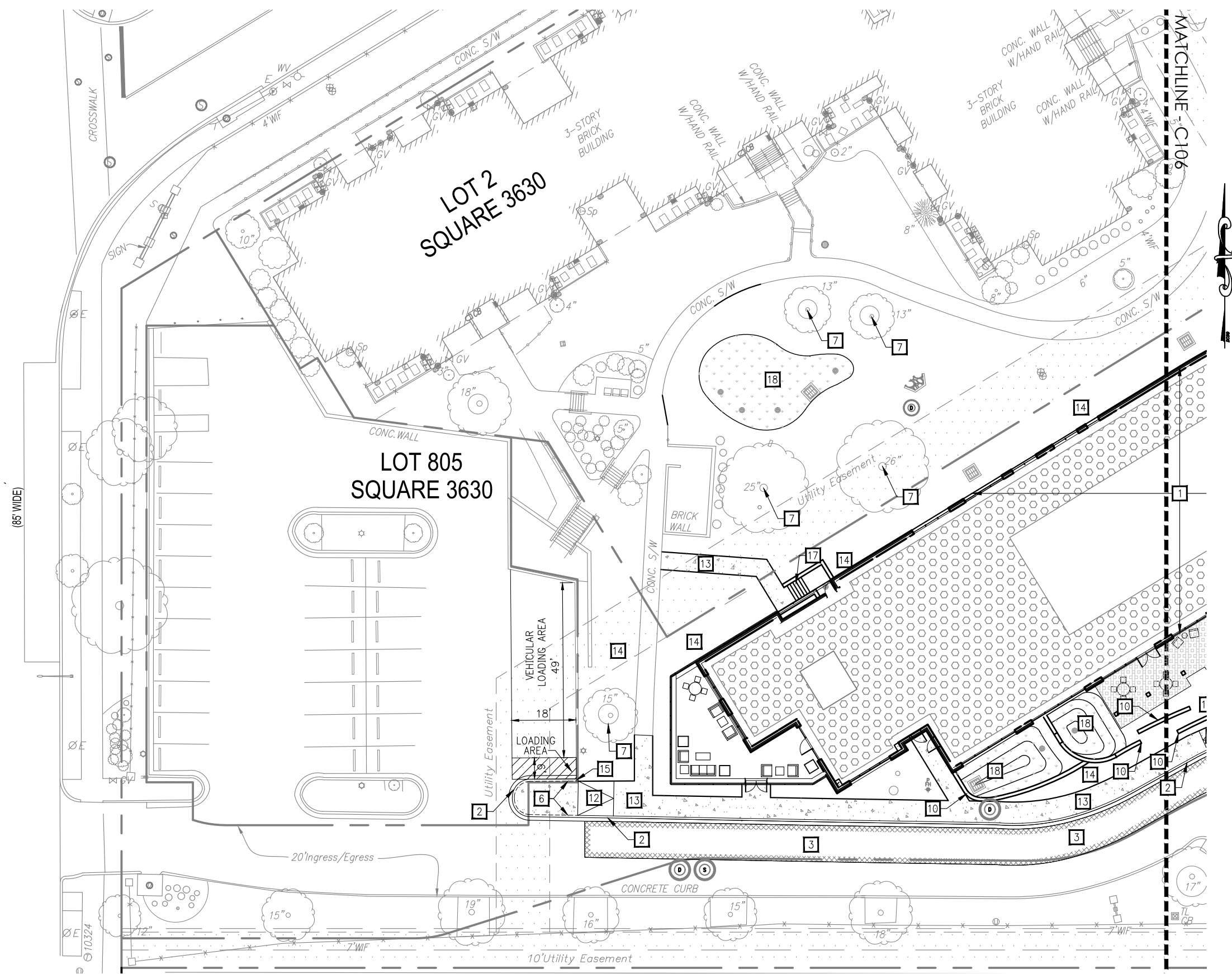
TOTAL VOLUME OF CUT /FILL FOR UTILITIES:
 TOTAL AREA OF EXCAVATION: 2,000 SF / 0.045 AC
 VOLUME OF CUT: $\frac{(2,000) \text{ SQ.FT. (AREA)} \times (6) \text{ FEET (DEPTH)}}{27}$

VOLUME OF CUT AND FILL: (445) cy +/-

TOTAL VOLUME OF CUT OF BELOW GRADE EXCAVATION :
 TOTAL AREA OF EXCAVATION: 48,114 SF / 1.10 AC
 VOLUME OF CUT: $\frac{(48,114) \text{ SQ.FT. (AREA)} \times (15) \text{ FEET (DEPTH)}}{27}$

VOLUME OF CUT: (26,730) cy +/-

TOTAL VOLUME OF CUT: (27,175) cy +/-



- SITE KEYNOTES:**
- 1 NEW BUILDING. REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
 - 2 NEW 6" CONCRETE CURB AND CONCRETE GUTTER PER DDOT STANDARDS AND SPECIFICATIONS.
 - 3 NEW ASPHALT PAVEMENT SURFACE COURSE FROM FACE OF CURB TO THE CENTERLINE OF ROAD PER DDOT STANDARDS AND SPECIFICATIONS.
 - 4 NEW PAVEMENT MARKING.
 - 5 NEW HEAVY DUTY CONCRETE DRIVEWAY ENTRANCE PER DDOT STANDARDS AND SPECIFICATIONS. SIDEWALK SCORING PATTERN, TEXTURE, AND COLOR TO BE CONTINUED ACROSS THE DRIVEWAY.
 - 6 NEW FLUSH CURB PER SITE PLAN DETAIL.
 - 7 EXISTING TREE TO REMAIN.
 - 8 NEW 4" CONCRETE HEADER CURB PER SITE PLAN DETAIL.
 - 9 NEW BICYCLE RACK. REFER TO LANDSCAPE PLAN FOR DETAILS.
 - 10 NEW SITE WALL. REFER TO LANDSCAPE PLANS FOR DETAILS.
 - 11 NEW ASPHALT PAVEMENT AT FULL DEPTH PER DDOT STANDARDS AND SPECIFICATIONS.
 - 12 NEW HANDICAP RAMP WITH TRUNCATED DOME PER DDOT STANDARDS AND SPECIFICATIONS.
 - 13 NEW CONCRETE SIDEWALK PER DDOT STANDARDS AND SPECIFICATIONS. SCORING PATTERN PER DDOT DETAIL AND LANDSCAPE PLANS.
 - 14 NEW PLANTING AREA. REFER TO LANDSCAPE PLANS FOR DETAILS.
 - 15 LIMIT OF NEW CONCRETE CURB.
 - 16 NEW PEDESTRIAN RAMP. REFER TO LANDSCAPE PLANS FOR DETAILS.
 - 17 NEW STAIRS. REFER TO LANDSCAPE PLANS FOR DETAILS.
 - 18 NEW BIO-RETENTION AREAS REFER TO SITE PLAN DETAIL.
 - 19 NEW WHEEL STOP PER SITE PLAN DETAIL.

PAVING LEGEND

	NEW CONCRETE PAVEMENT
	NEW CONCRETE SIDEWALK
	NEW ASPHALT PAVEMENT (FULL DEPTH)
	NEW ASPHALT PAVEMENT (SURFACE COURSE)
	NEW HARDSCAPE PAVEMENT (SEE LANDSCAPE PLANS)
	NEW GREEN ROOF
	NEW BIO-RETENTION

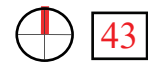


Enterprise



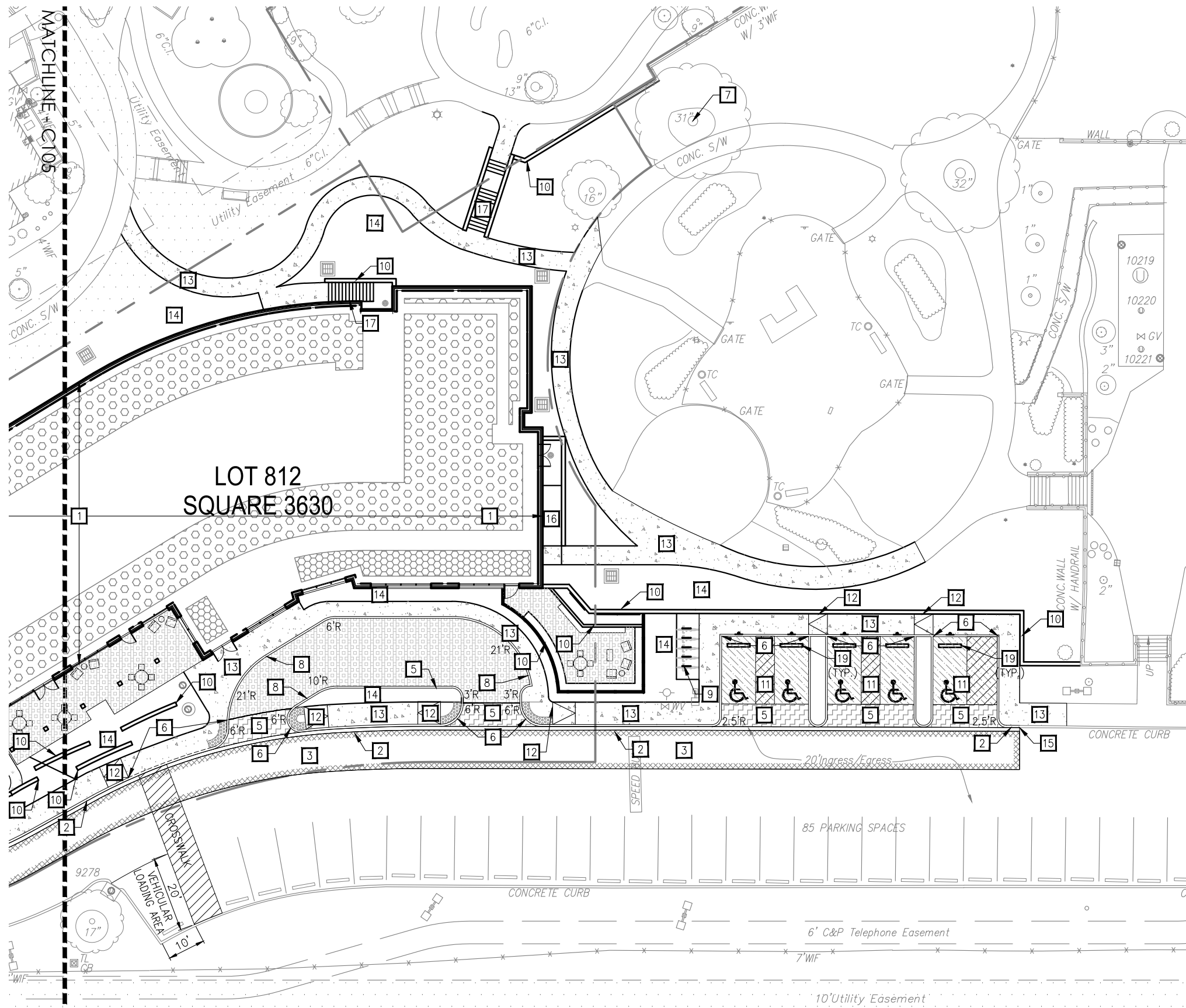
WMC goulston&storr **GOROVE SLADE**

Site Plan | **Edgewood 5**



Washington, DC
April 21, 2020

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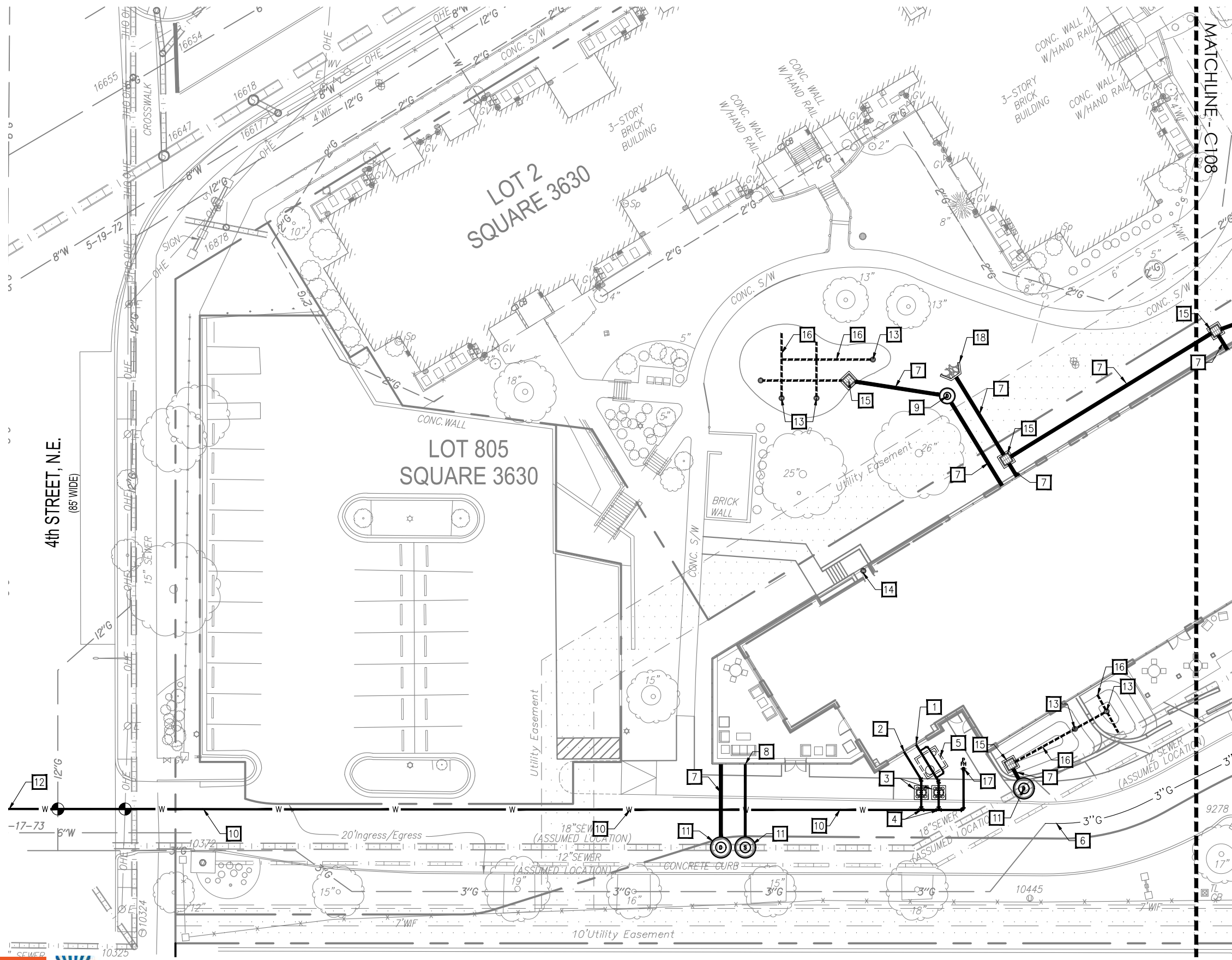


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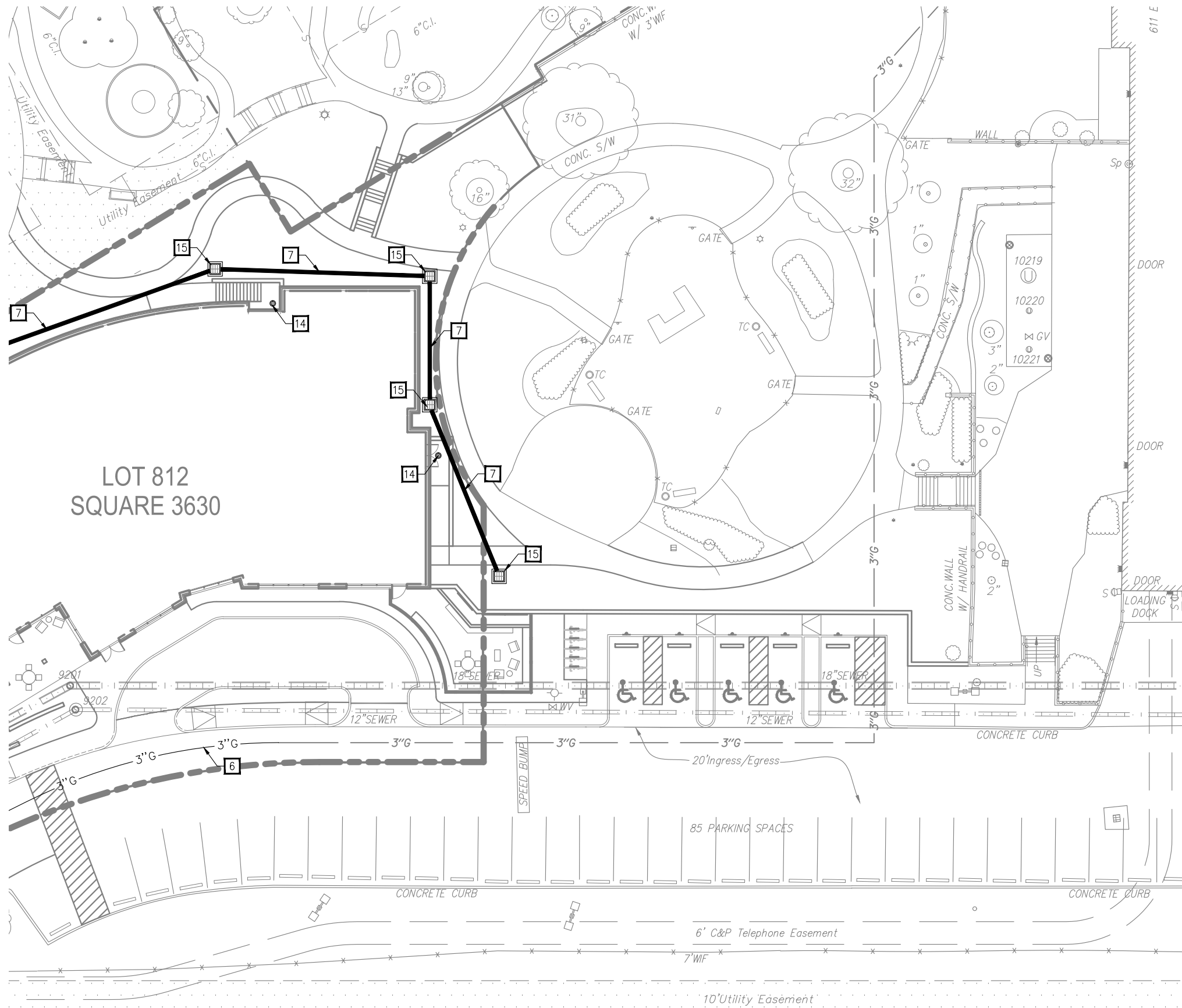
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- 5 NEW HEAVY DUTY CONCRETE DRIVEWAY ENTRANCE PER DDOT STANDARDS AND SPECIFICATIONS. SIDEWALK SCORING PATTERN, TEXTURE, AND COLOR TO BE CONTINUED ACROSS THE DRIVEWAY.
- 6 NEW FLUSH CURB PER SITE PLAN DETAIL.
- 7 EXISTING TREE TO REMAIN.
- 8 NEW 4" CONCRETE HEADER CURB PER SITE PLAN DETAIL.
- 9 NEW BICYCLE RACK. REFER TO LANDSCAPE PLAN FOR DETAILS.
- 10 NEW SITE WALL. REFER TO LANDSCAPE PLANS FOR DETAILS.
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- 15 LIMIT OF NEW CONCRETE CURB.
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	NEW ASPHALT PAVEMENT (SURFACE COURSE)
	NEW HARDSCAPE PAVEMENT (SEE LANDSCAPE PLANS)
	NEW GREEN ROOF
	NEW BIO-RETENTION



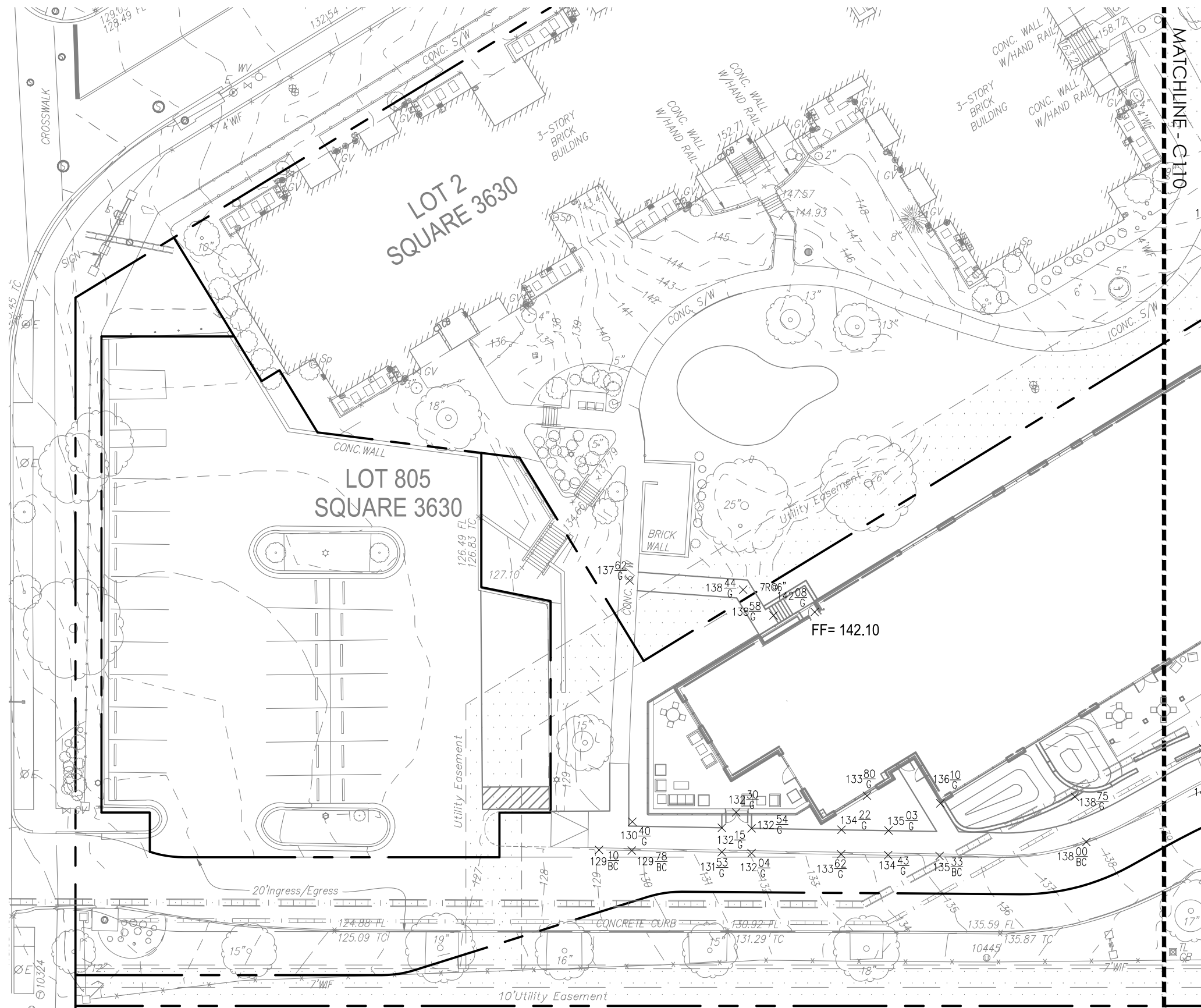
- UTILITY KEYNOTES:**
- 1 NEW DIP CLASS 56 DOMESTIC WATER SERVICE LATERAL PER DC WATER STANDARDS AND SPECIFICATIONS. BACKFLOW PREVENTER ASSEMBLY TO MEET ASSE-1015.
 - 2 NEW DIP CLASS 56 FIRE SERVICE LATERAL PER DC WATER STANDARDS AND SPECIFICATIONS. BACKFLOW PREVENTER ASSEMBLY TO MEET ASSE-1048.
 - 3 NEW 6" WATER VALVE WITH 4.0' CONCRETE CASING PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER STANDARD DETAIL W-20.01.
 - 4 NEW TEE WITH CONCRETE THRUST BLOCK PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER STANDARD DETAIL W-40.01.
 - 5 NEW 72"x72"x72" CONCRETE WATER METER VAULT WITH WATER METER PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER STANDARD DETAIL DG-23.01
 - 6 NEW GAS SERVICE RELOCATION. COORDINATE REQUIREMENTS WITH WASHINGTON GAS.
 - 7 NEW PVC SCH-40 STORM SEWER. PER DC WATER STANDARDS AND SPECIFICATIONS.
 - 8 NEW PVC SCH-40 SANITARY SEWER LATERAL. PER DC WATER STANDARDS AND SPECIFICATIONS.
 - 9 NEW PRECAST CONCRETE MANHOLE FOR NEW 10" THRU 21" DIAMETER SEWER (48" DIAMETER PRECAST BASE) PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER STANDARD DETAIL S-20.01.
 - 10 NEW DIP CLASS 56 WATER MAIN PER DC WATER STANDARDS AND SPECIFICATIONS.
 - 11 NEW PRECAST CONCRETE MANHOLE OVER EXISTING 10" THRU 21" DIAMETER SEWER WITH CAST-IN-PLACE CONCRETE BASE PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER STANDARD DETAIL S-20.11.
 - 12 CONNECT NEW DIP WATER MAIN TO EXISTING WATER MAIN USING SLEEVE PER DC WATER STANDARDS AND SPECIFICATIONS.
 - 13 NEW CLEANOUT PER DDOT STANDARDS AND SPECIFICATIONS. REFER TO DDOT STANDARD DETAIL DWG 621.51
 - 14 NEW AREA WAY DRAIN WITH CONNECTION INTO THE BUILDING.
 - 15 NEW FIELD INLET GRATE TYPE CATCH BASIN PER DC WATER STANDARDS AND SPECIFICATIONS. REFER TO DC WATER STANDARD DETAIL S-30.30
 - 16 NEW SCH-40 PVC PERFORATED PIPE UNDERDRAIN PER DOE STANDARDS AND SPECIFICATIONS.
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 - 18 NEW HEADWALL PER DDOT STANDARDS AND SPECIFICATIONS. REFER TO DDOT STANDARD DRAWING 320.01



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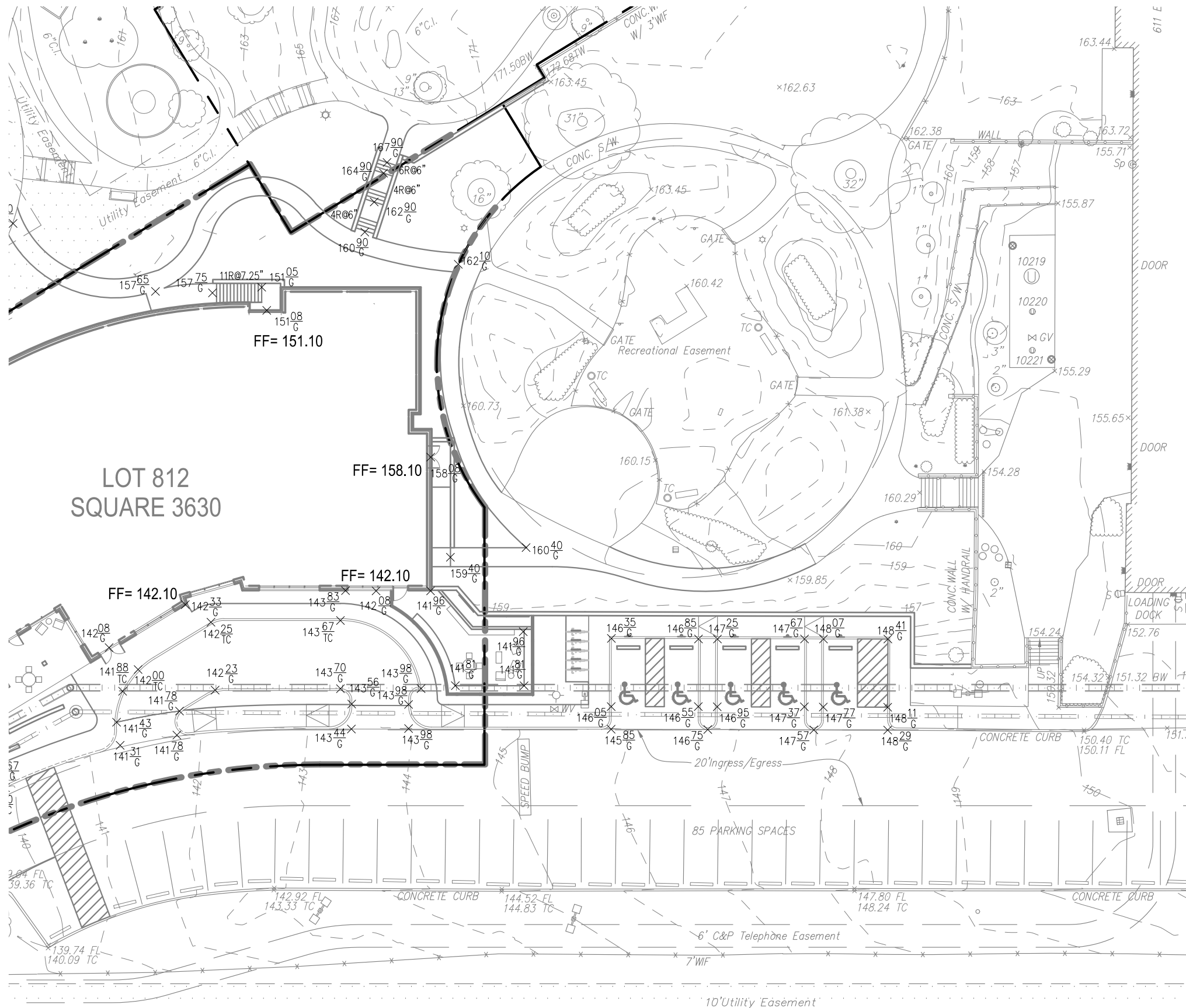




EXISTING	LEGEND	BY OTHERS	PROPOSED	
303.25	SPOT ELEVATIONS	*03.25	03.25	HUNDREDS PLACE TRUNCATED
AS-BUILT [03.25]	SPOT ELEVATIONS (WITH NOTATION)	BY OTHERS: DESIGN INFORMATION FROM PLANS OTHER THEN THIS CONTRACT.	03.25 TC	NOTATION & REVEAL
			UP DATED (DUE TO AS-BUILT)	BC: BOTTOM OF CURB CRN: CROWN GB: GRADE BREAK INV: INVERT MAT: MATCH (EXISTING CONDITION) LP: LOW POINT TC: TOP OF CURB BW: BOTTOM OF WALL BR: BOTTOM OF RAMP TR: TOP OF RAMP TS: TOP OF STAIRS BS: BOTTOM OF STAIRS HP: HIGH POINT ES: EDGE OF SIDEWALK FL: FLOW LINE
	SLOPE		2%	
	5' x 5' SLOPE 2% MAX ALL DIRECTIONS			

- ACCESSIBLE REQUIREMENTS**
- MIN. ONE (1) ACCESSIBLE ROUTE MUST BE PROVIDED FROM PUBLIC STREETS, PUBLIC SIDEWALKS, TRANSPORTATION STOPS WITHIN SITE LIMITS, PASSENGER LOADING ZONES, AND FROM ACCESSIBLE PARKING SPACES TO BUILDING ENTRANCES.
 - RUNNING SLOPES UP TO 5.0% (1:20) ALLOWED.
 - CROSS SLOPES UP TO 2.0% (1":12") ALLOWED.
 - RAMP RUNNING SLOPES OVER 5.0% (1:20) TO 8.33% (1:12) WITH RISE OF OVER 6" ALLOWED WITH HANDRAILS AND 5' X 5' LEVEL LANDING PAD (2% OR LESS ALL DIRECTIONS) AT TOP AND BOTTOM OF RAMP.
 - CURB RAMP RUNNING SLOPES UP TO 8.33% (1:12) ALLOWED WITHOUT HANDRAILS BUT ARE REQUIRED TO HAVE 5' X 5' LEVEL LANDING PAD AT TOP AND BOTTOM OF RAMP. RUNNING SLOPES OVER 8.33% (1:12) NOT ALLOWED FOR ACCESSIBLE ROUTES. MAX RUN OF 8.33% (1:12) SLOPE IS 30' WITH MINIMUM 5'x5' LEVEL LANDING PAD BETWEEN RUN SEGMENTS AND 5' X 5' LEVEL LANDING PAD AT TOP AND BOTTOM OF RAMP.
 - ACCESSIBILITY CODES, REGULATIONS, AND STANDARDS DO NOT INCLUDE ANY CONSTRUCTION TOLERANCES. ALL ACCESSIBLE ROUTES MUST BE CONSTRUCTED AT OR UNDER THE MAXIMUM REQUIREMENTS.
 - ALL DOORS TO HAVE LEVEL (2% OR LESS ALL DIRECTIONS) SLOPE 5' IN FRONT OF DOOR.
 - ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.

- NOTES**
- CONTOURS ARE SHOWN AS APPROXIMATE. DO NOT USE CONTOURS FOR FINE GRADING, SPOT SHOT ELEVATIONS SHOULD BE USED FOR ALL GRADING. IF THERE ARE ANY QUESTIONS ON DESIGN ELEVATIONS PLEASE CONTACT DESIGN ENGINEER IMMEDIATELY.
 - HANDRAILS FOR RAMPS AND STAIRS TO BE DETAILED BY ARCHITECT AND LANDSCAPE ARCHITECT AS REQUIRED BY CODE.



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			<03.25>	
			2%	
			5'	
			5'	SLOPE 2% MAX ALL DIRECTIONS

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 - CROSS SLOPES UP TO 2.0% (1:50) ALLOWED.
 - RAMP RUNNING SLOPES OVER 5.0% (1:20) TO 8.33% (1:12) WITH RISE OF OVER 6" ALLOWED WITH HANDRAILS AND 5' X 5' LEVEL LANDING PAD (2% OR LESS ALL DIRECTIONS) AT TOP AND BOTTOM OF RAMP.
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STORMWATER MANAGEMENT NARRATIVE:

EXISTING CONDITIONS

THE PRIVATE SPACE PROPERTY CONSISTS OF AN EXISTING PARK AREA WITH RETAINING WALLS.

PROPOSED CONDITIONS



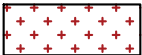
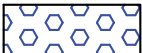

THE PRIVATE SPACE PROJECT PROPOSES THE CONSTRUCTION OF A NEW BUILDING WITH SITE, LANDSCAPE, AND STORMWATER MANAGEMENT FEATURES. STORMWATER MANAGEMENT FOR THE SITE WILL BE FULL-FILLED BY A COMBINATION OF GREEN ROOF AND BIO-RETENTION. THESE BMPs WILL TREAT THE NEW BUILDING AND SURROUNDING PROPOSED SITE IMPROVEMENTS. THE BMPs WILL THEN TIE INTO AN EXISTING PRIVATE COMBINED SEWER SYSTEM WHICH CONNECTS TO THE EXISTING PUBLIC COMBINED MAINS IN 4TH STREET NE.

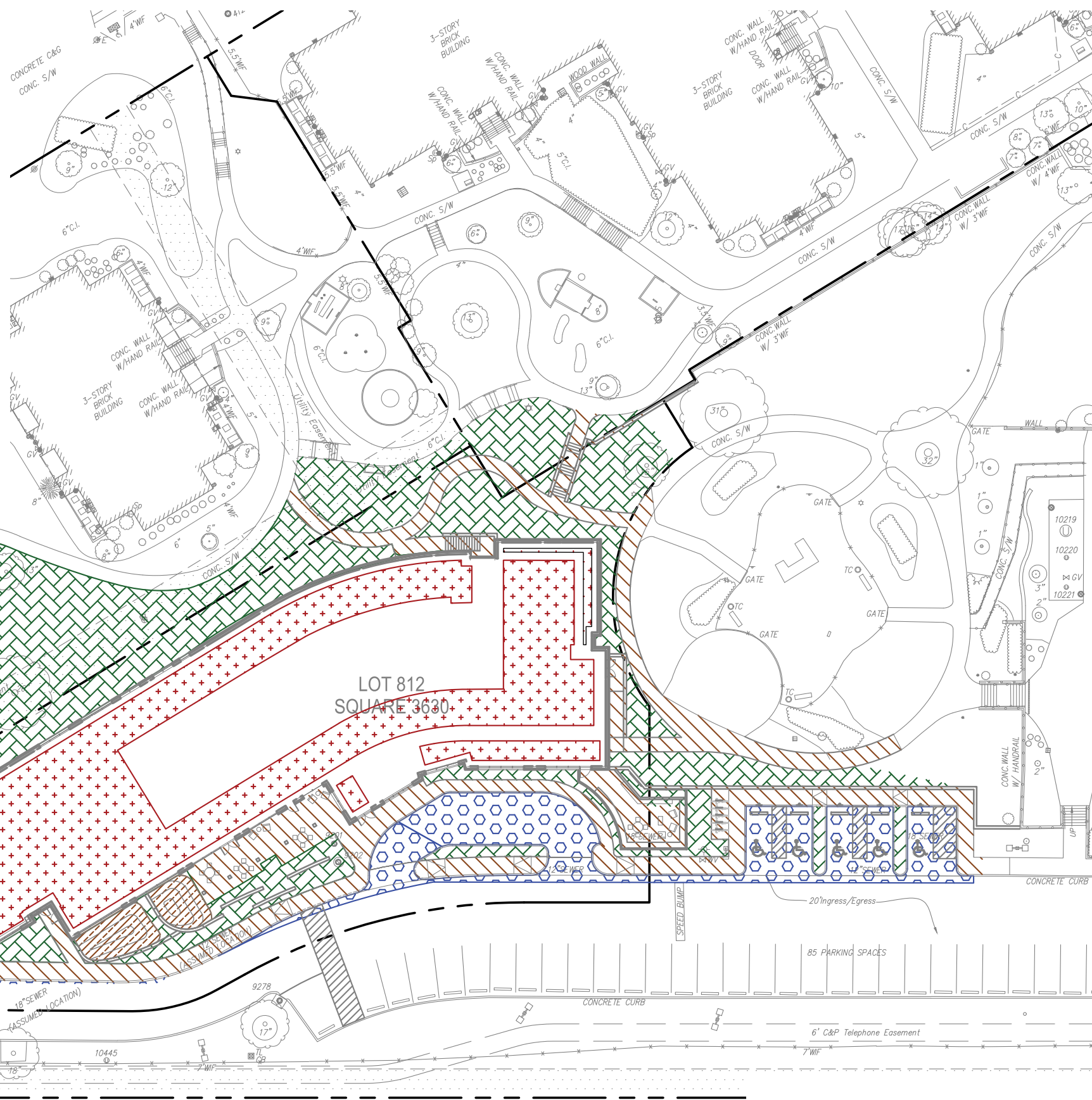
STORMWATER RETENTION AND DETENTION REQUIREMENTS:

STORMWATER RETENTION AND DETENTION FOR THIS SITE WILL MEET THE DISTRICT OF ENERGY AND ENVIRONMENT REQUIREMENTS FOR MAJOR LAND DISTURBING ACTIVITY. THEREFORE THE FIRST 1.2" OF RAINFALL SHALL BE RETAINED ON-SITE FOR THE PROPOSED IMPROVEMENTS. 2-YEAR POST-DEVELOPMENT DISCHARGE SHALL BE EQUAL OR LESS THAN PRE-DEVELOPMENT DISCHARGE AND 15-YEAR POST-DEVELOPMENT DISCHARGE WILL BE EQUAL OR LESS THAN THE PRE-PROJECT DISCHARGE.

PRIVATE SPACE LEGEND:

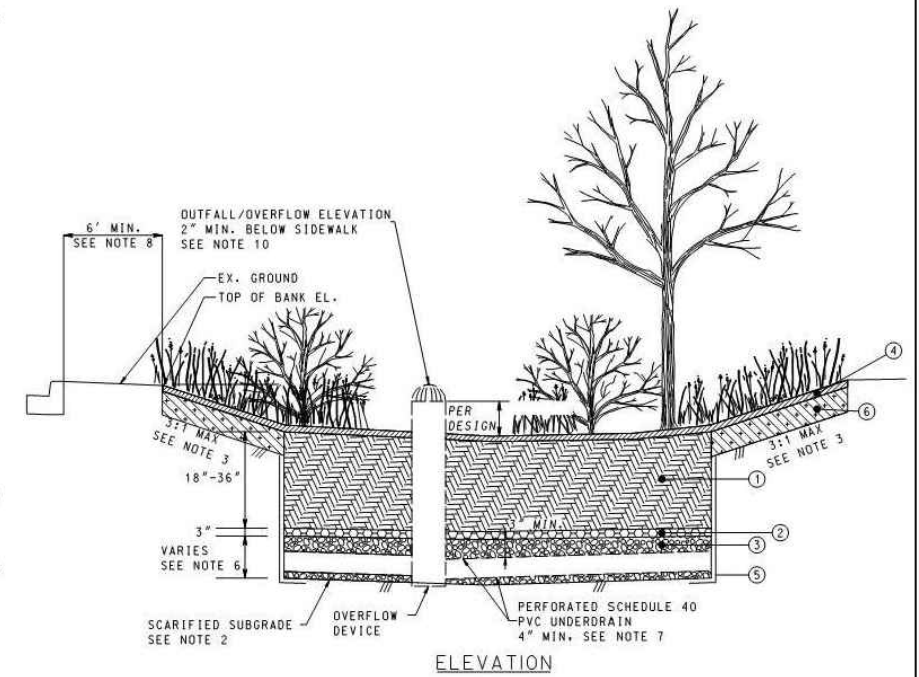
TOTAL AREA OF DISTURBANCE: 49,362 SQ. FT.

-  IMPERVIOUS COVER (14,236 SQ. FT.)
-  COMPACTED COVER (14,628 SQ. FT.)
-  GREEN ROOF BMP COVER (9,600 SQ. FT.)
-  VEHICLE RELATED COVER (3,942 SQ. FT.)
-  BIO-RETENTION COVER (1,368 SQ. FT.)



NOTES:

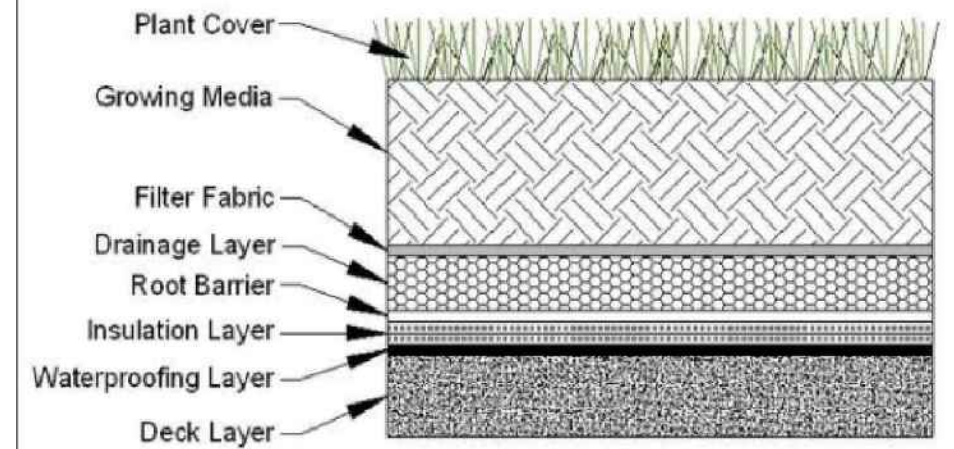
1. BIORETENTION MATERIALS AND CONSTRUCTION SHALL MEET CURRENT APPROVED DDOT SPECIFICATION FOR 'BIORETENTION, PLANTING, AND STRUCTURAL SOILS'.
2. SCARIFY SUBGRADE 3" MIN. BEFORE INSTALLATION.
3. SIDE SLOPES STEEPER THAN 3:1 MAY BE ALLOWED; HOWEVER, MUST BE STABILIZED IN ACCORDANCE WITH DDOT DESIGN REQUIREMENTS.
4. FOR ALTERNATIVE EDGE TREATMENT CONDITIONS, SEE DWG. NOS. 621.30 TO 621.32.
5. BOTTOM OF BIOSWALE SHALL BE AT LEAST 2' ABOVE THE SEASONAL HIGH WATER TABLE AND BEDROCK AS DETERMINED BY GEOTECHNICAL INVESTIGATION.
6. STONE DEPTH SHALL VARY PER DESIGN PLANS, TO ACHIEVE A WATER STORAGE LAYER/ INFILTRATION SUMP, WHEN APPLICABLE.
7. PROVIDE UNDERDRAIN WHEN CALLED FOR PER DESIGN PLANS. SEE DWG. 603.01 FOR MIN. BEDDING REQUIREMENT.
8. DISTANCE TO ROADWAY MAY BE REDUCED WHEN SIDE OF PRACTICE IS LINED WITH WATERPROOF MEMBRANE, PER DESIGN PLANS.
9. SEE DWG. NO. 603.01 FOR CLEAN OUT AND OBSERVATION WELL DETAIL.
10. BIORETENTION FACILITY DEPICTED IS ONE WITH AN OVERFLOW STRUCTURE. "OFF-LINE" FACILITIES DESIGNED TO LIMIT INFLOW SO THAT OVERFLOW STRUCTURES ARE NOT REQUIRED ARE ALSO PERMISSIBLE, AS SHOWN ON DESIGN PLANS.
11. IF DEPTH FROM SURROUNDING GRADE TO LOW POINT OF FACILITY EXCEEDS 5 FEET, A FENCE IS REQUIRED AROUND ENTIRE FACILITY.



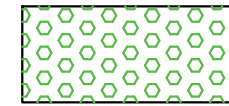
- LEGEND:**
- ① BIORETENTION SOIL
 - ② CHOKER LAYER, SAND & GRAVEL
 - ③ AASHTO #57 STONE, DOUBLE WASHED
 - ④ MULCH, PER PLANTING PLAN
 - ⑤ GEOTEXTILE, CLASS 2
 - ⑥ PLANT BED SOIL

RECOMMENDED:		BIORETENTION IN OPEN AREA	 DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION DWG. NO. 621.20
DATE	APPROVED:		
ISSUED:	REFERENCE:		

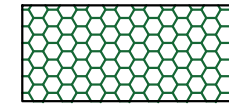
GREEN ROOF DETAIL (TYPICAL):



LEGEND



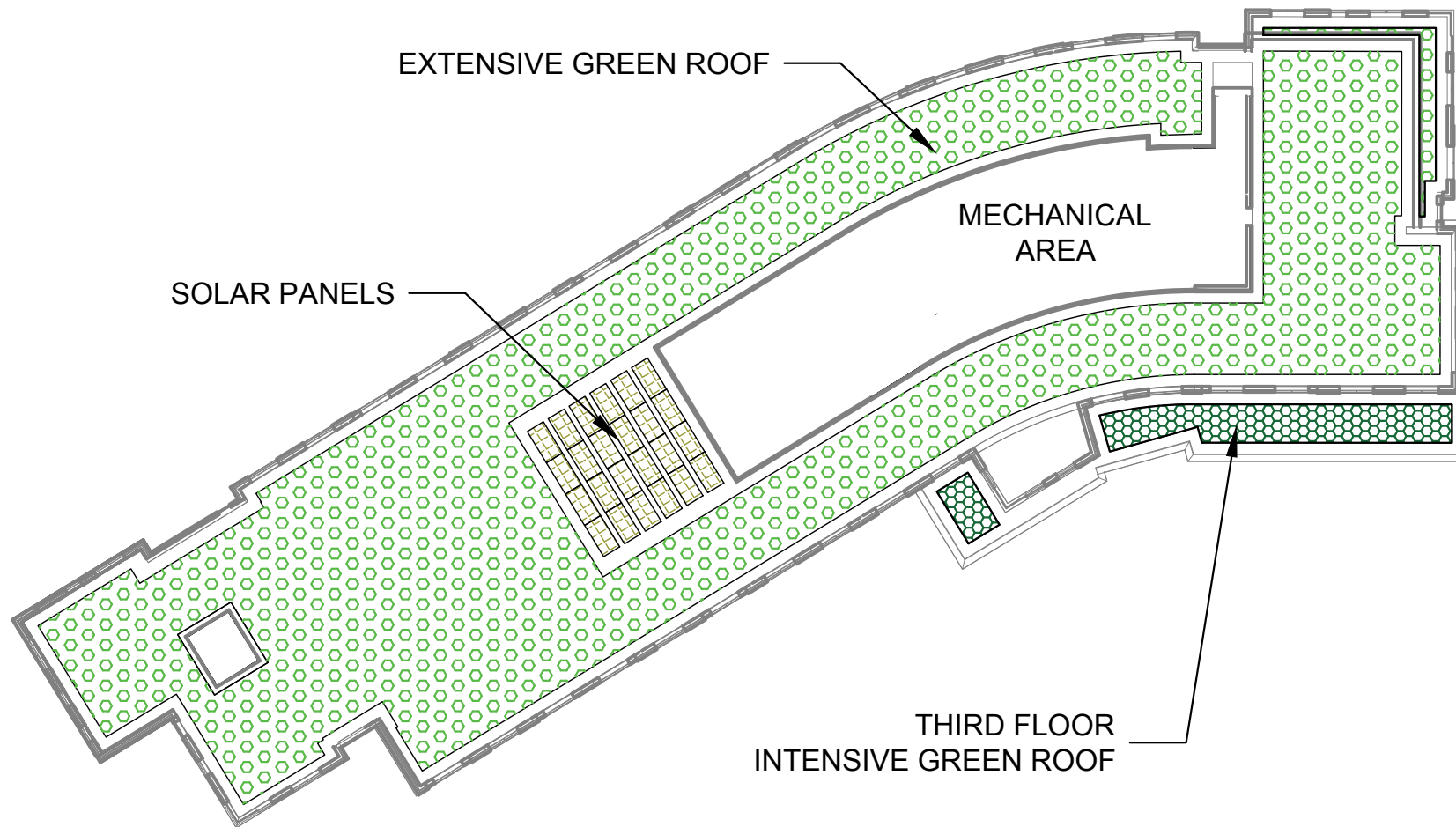
2"-8" EXTENSIVE GREEN ROOF



8"+ INTENSIVE GREEN ROOF



SOLAR PANELS



Enterprise

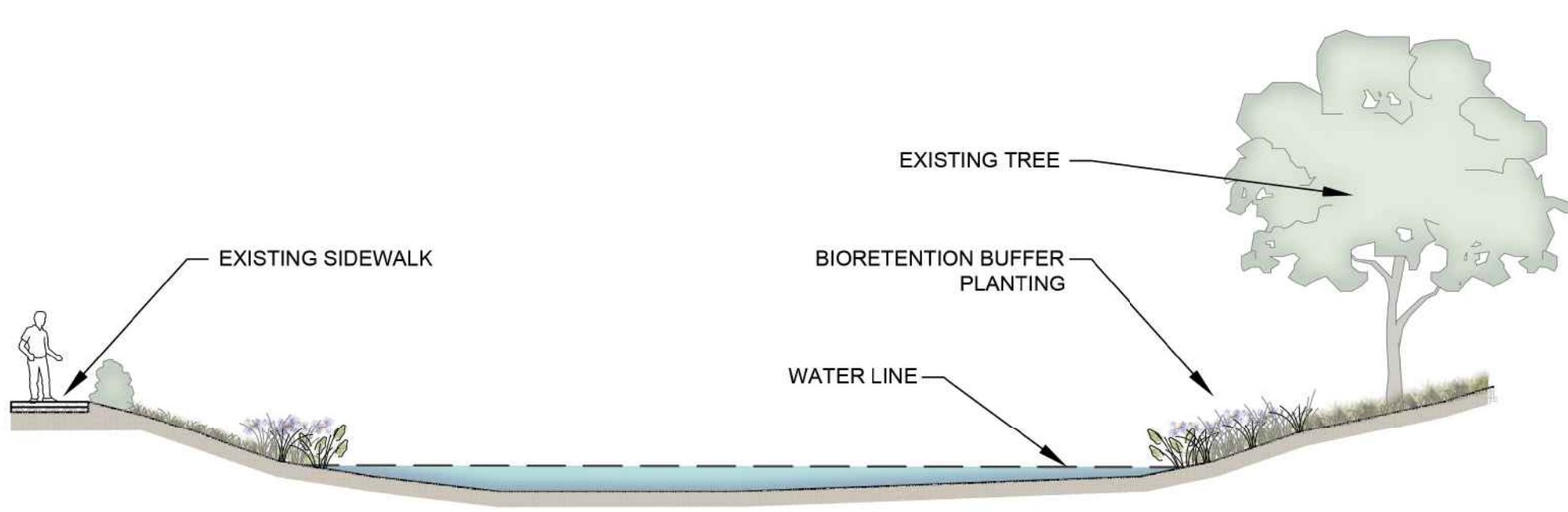


GOROVE SLADE

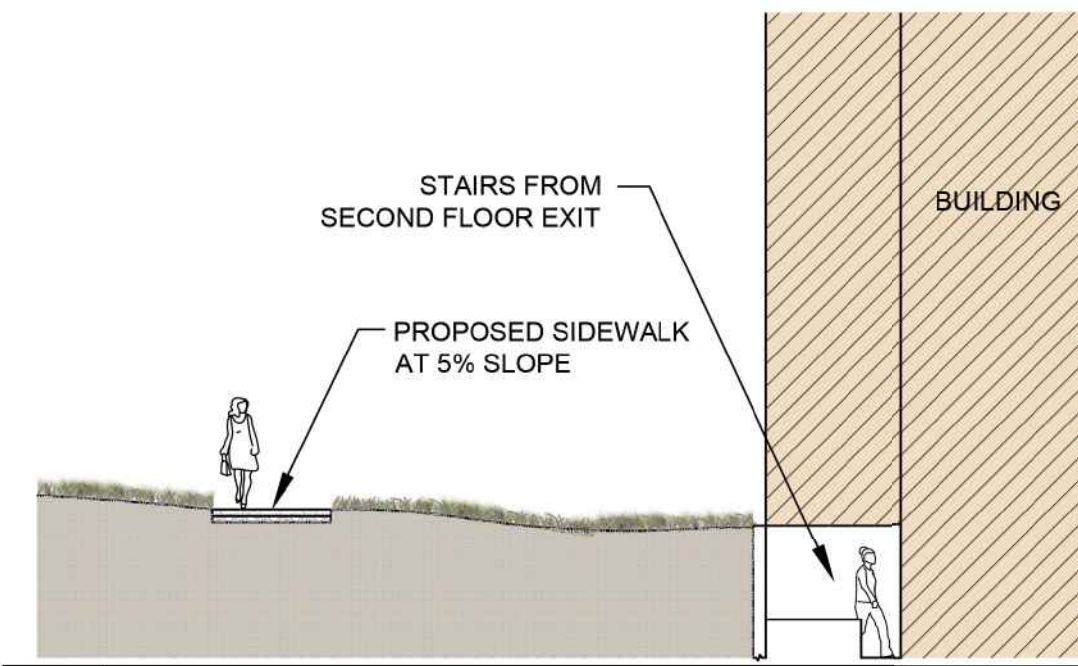
Green Roof Plan | Edgewood 5



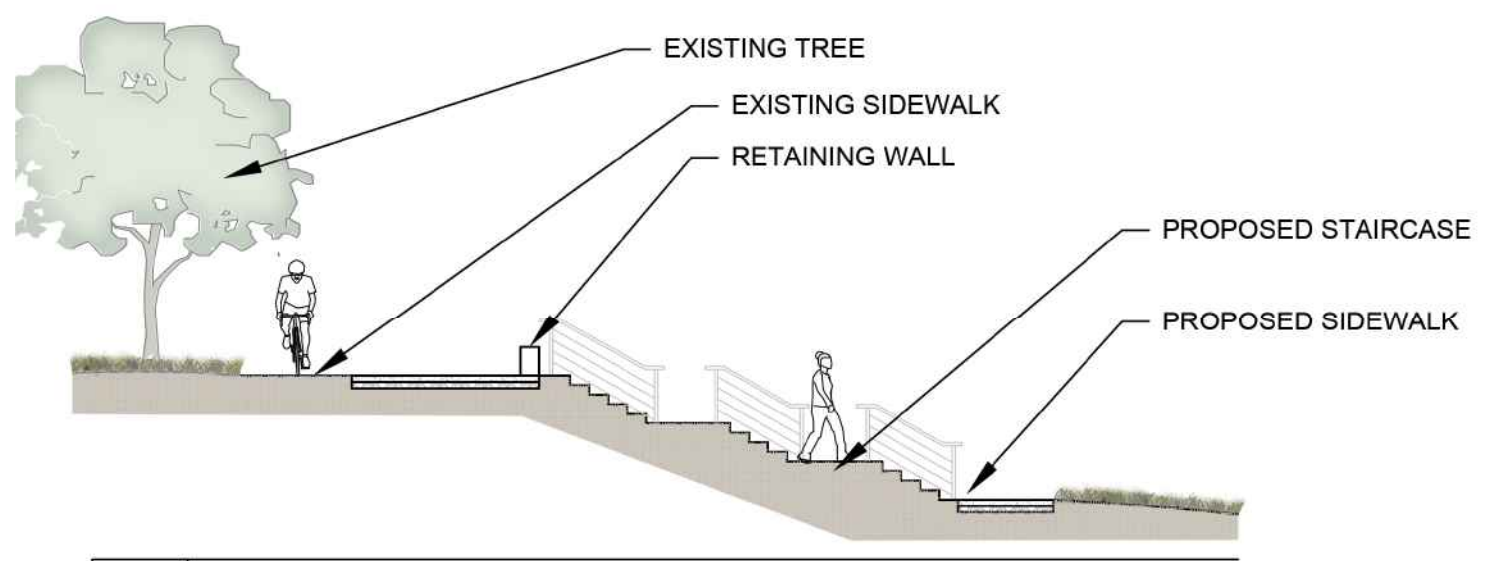
Washington, DC
April 21, 2020



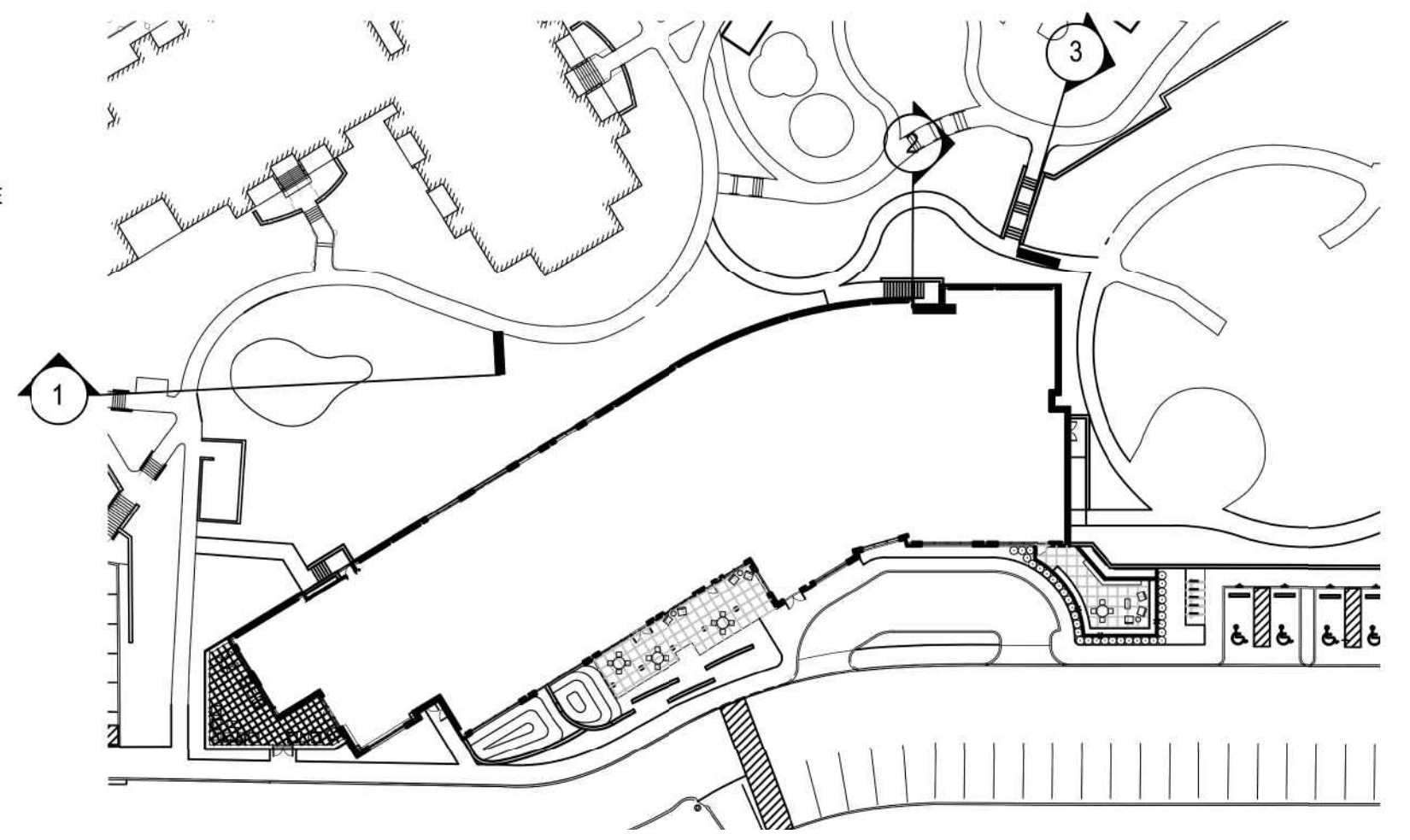
1 NORTHERN BIORETENTION SECTION
SCALE: 1" = 10'-0"

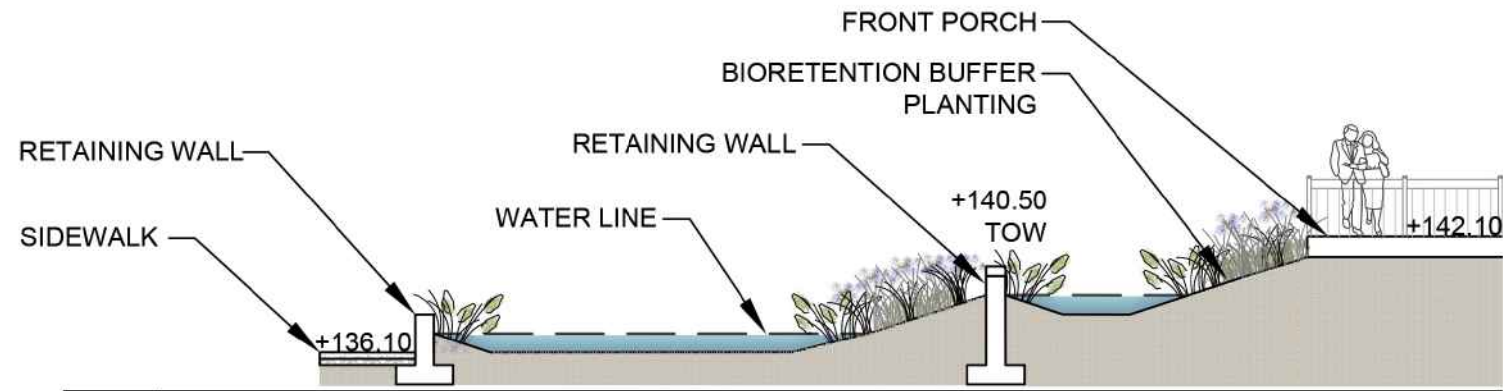


2 NORTH FACING FIRST FLOOR ENTRANCE SECTION
SCALE: 1" = 10'-0"

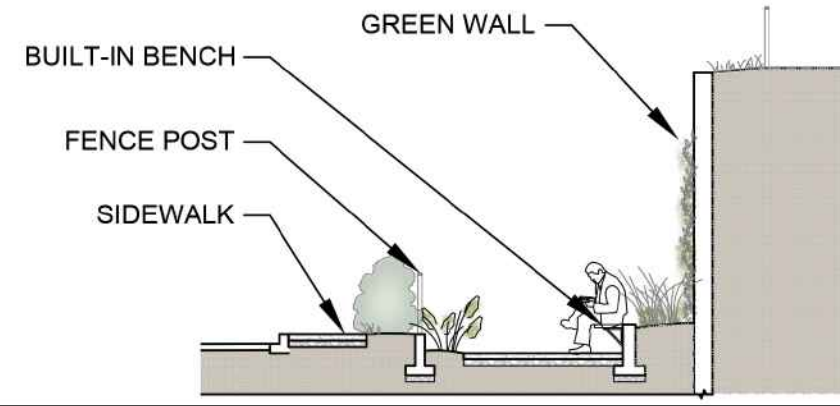


3 PROPOSED STAIRWAY SECTION
SCALE: 1" = 10'-0"

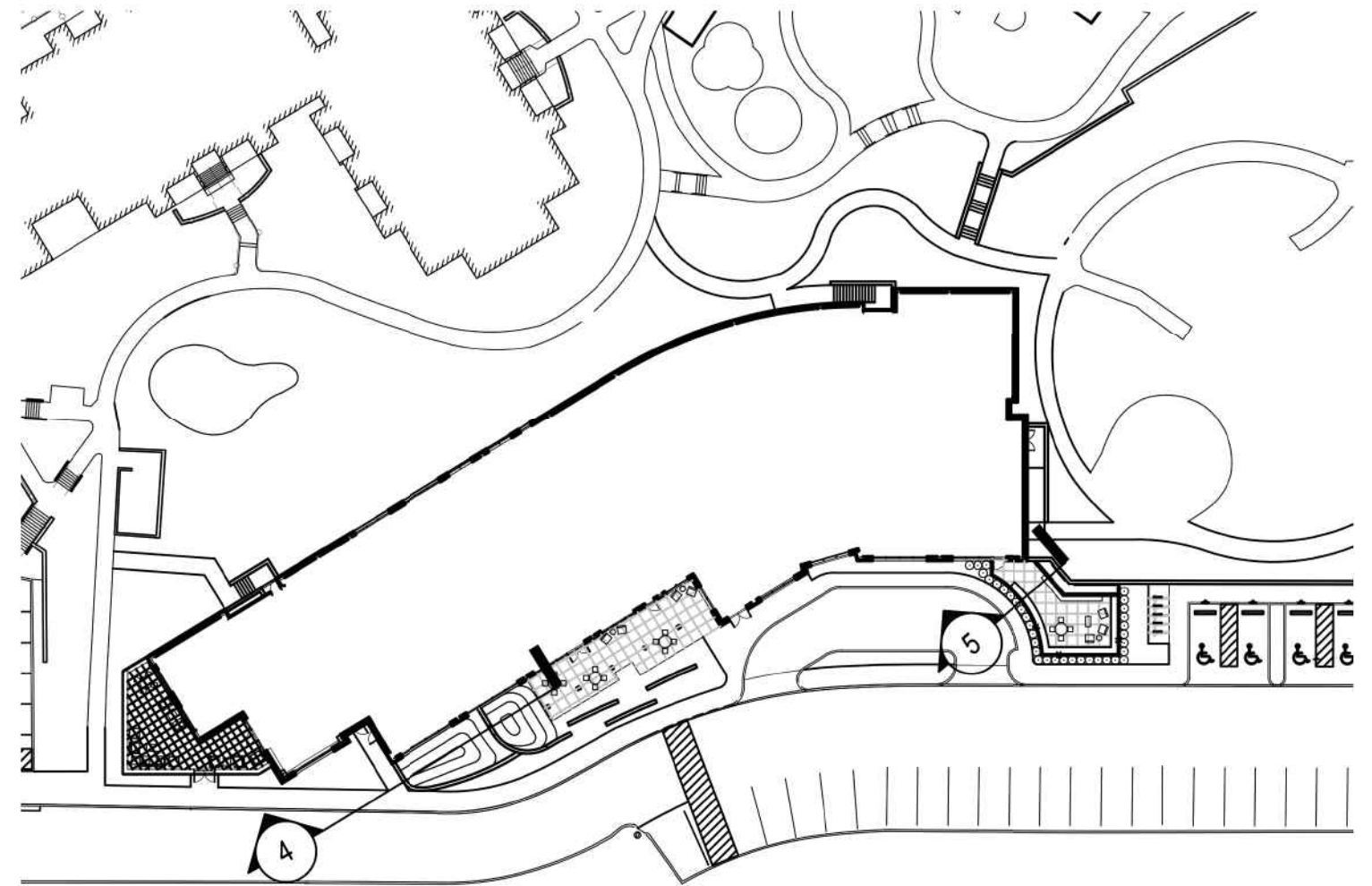




4 FRONT OF BUILDING BIORETENTION SECTION
SCALE: 1" = 10' 0"



5 OUTDOOR ADULT DAYCARE SECTION
SCALE: 1" = 10' 0"



Enterprise[®]

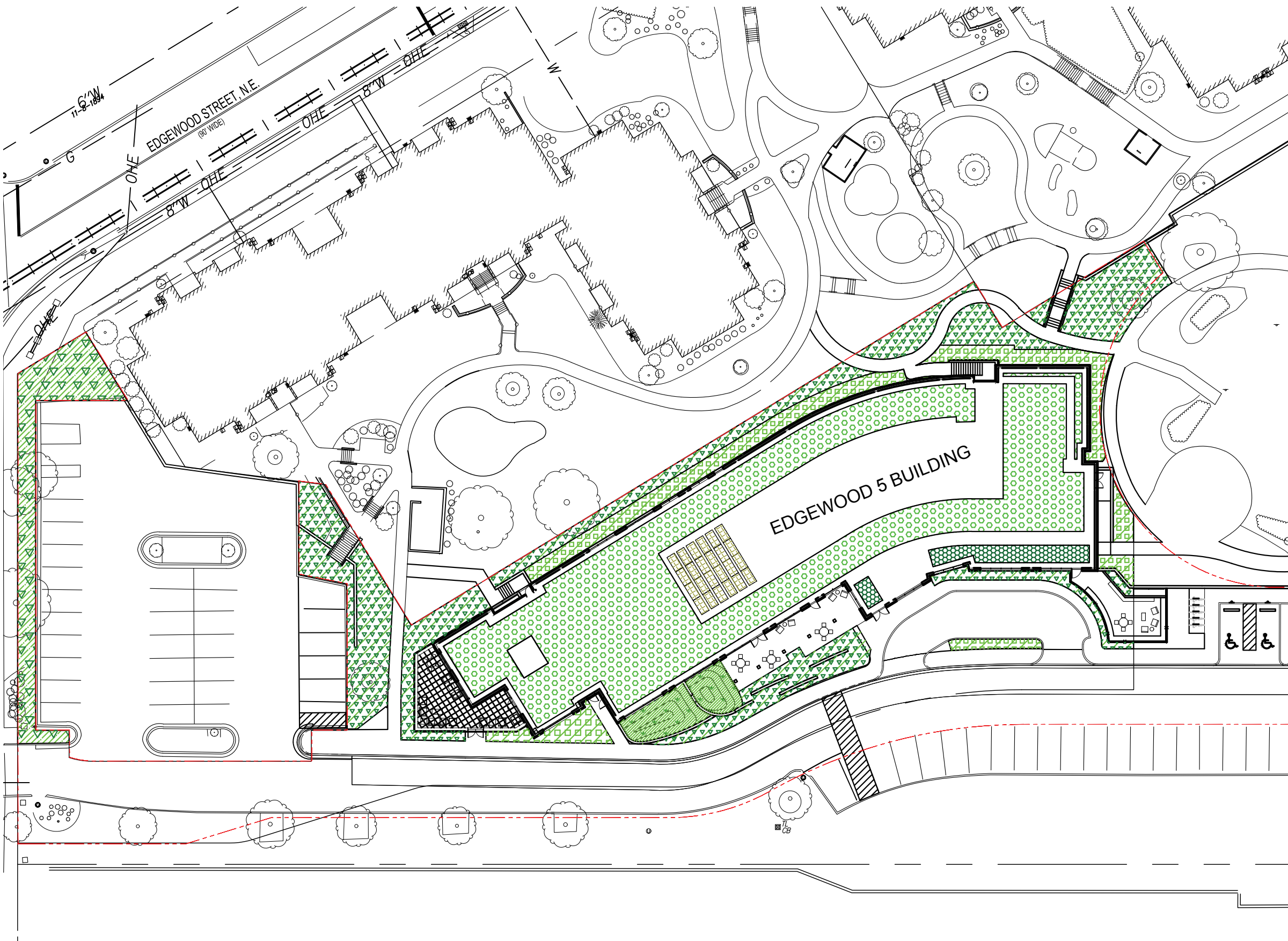
WMC
WILLES MENSOR CORPORATION
CELEBRATING 30 YEARS

WMC goulston&storr's **GOROVE SLADE**
Landscape Architecture • Urban Design Studio

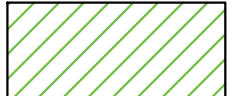
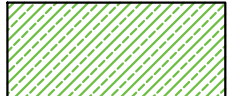


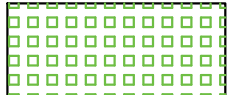
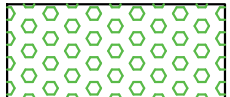
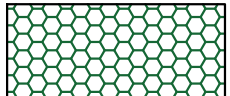

Sections South of Building | **Edgewood 5**



Washington, DC
April 21, 2020



LEGEND

-  SOIL DEPTH LESS THAN 24"
-  SOIL DEPTH MORE THAN 24"
-  BIORETENTION
-  GROUNDCOVER LESS THAN 2'
-  PLANTS 2' OR TALLER
-  2"-8" EXTENSIVE GREEN ROOF
-  8"+ INTENSIVE GREEN ROOF
-  SOLAR PANELS

NOTES:

GAR Score: .302

1. THE CURRENT DESIGN SHOWS POTENTIAL AREAS OF LANDSCAPING AND LID TECHNIQUES TO ACHIEVE FINAL GAR SCORE. AREAS ONLY WITHIN THE APPLICABLE LOT LINES WILL BE APPLIED TO THE GAR SCORE. THE DESIGN, LAYOUT AND SQUARE FOOTAGES OF THESE AREAS ARE TO BE FINALIZED AS OVERALL DESIGN DEVELOPS.
2. A COMBINATION OF PROPOSED GREEN ROOF, SOLAR, BIORETENTION, AND AT GRADE



TERRACED RETAINING WALL



EXTENSIVE GREENROOF



INTENSIVE GREENROOF



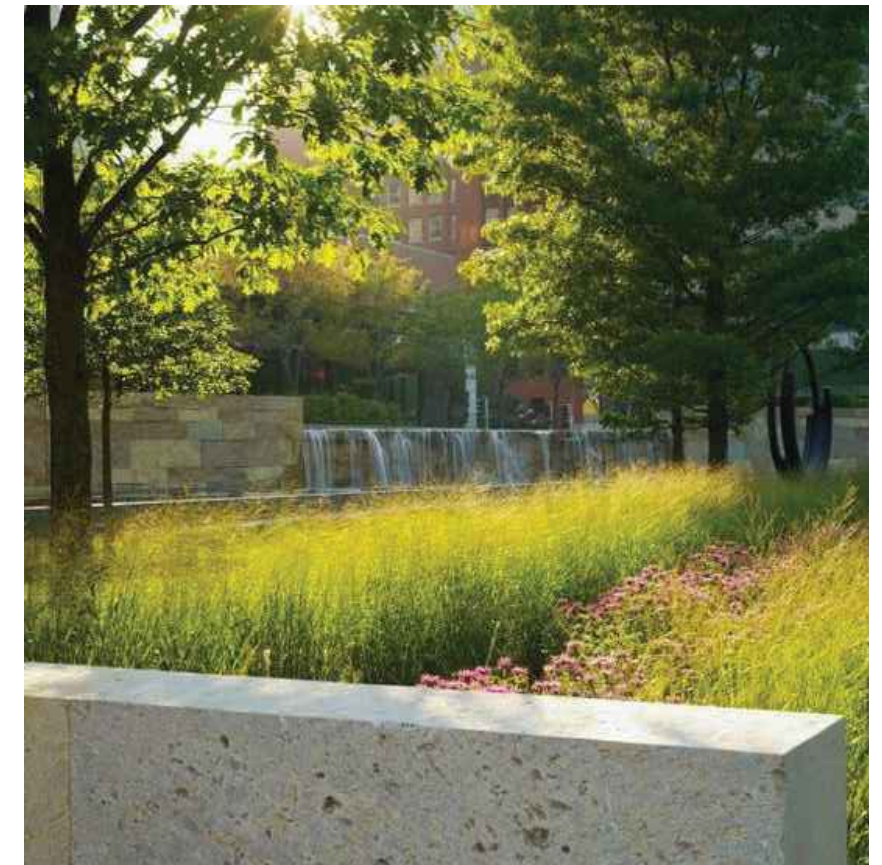
OUTDOOR SEATING AREA



GREEN WALL



LARGE BIORETENTION



TERRACED BIORETENTION

